



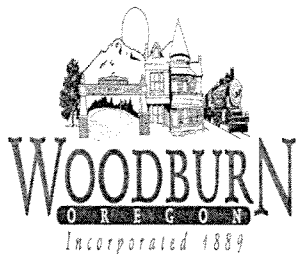
CITY OF WOODBURN

TYPE III APPLICATION REQUIREMENTS:

MANUFACTURED DWELLING PARK, PRELIMINARY APPROVAL

REQUIRED SUBMITTALS:

- ☐ 1. Completed Uniform Application.
- ☐ 2. Written narrative statement regarding compliance with attached criteria.
- ☐ 3. Location Map.
- ☐ 4. Aerial Photograph.
- ☐ 5. Preliminary Manufactured Dwelling Park (MDP) Plan, including the information described in **Section 6.101.02.L**.
- ☐ 6. Concept Plan for Adjacent Property Interests, as applicable.
- ☐ 7. Phasing Plan, as applicable.
- ☐ 8. Deeds.
- ☐ 9. Transportation Impact Analysis (TIA), as applicable.
- ☐ 10. Notification area map and mailing labels:
 - ☐ a. An original copy of a current Assessor's Map with the notification area, depicted by a line drawn 250 feet, equidistant from all boundaries of the subject property.
 - ☐ b. Two (2) sets of self adhesive labels for each property within the notification area, showing the owner's name, the tax lot number of the ownership and the owner's mailing address.
 - ☐ c. An affidavit by the preparer of the notification list, that the address labels reflect the required ownership and address data as contained in the current property tax rolls.
- ☐ 11. Filing Fee: \$3,379.00



CITY OF WOODBURN

Community Development Department
270 Montgomery Street • Woodburn, Oregon 97071
Phone: 503-982-5246 • Fax: 503-982-5244 • Website Address: www.ci.woodburn.or.us

File No: _____
Related Files: _____
Date Received: _____
Fees Received: _____

UNIFORM APPLICATION

(APLICACION UNIFORME)

General Information *(Información General)*

Project location *(Ubicación del Proyecto):*

Property owner *(Nombre del Propietario):*

Applicant *(Solicitante):*

Mailing Address *(Dirección Postal):*

Mailing Address *(Dirección Postal):*

Telephone & Fax No. *(Teléfono y Fax):*

Telephone & Fax No. *(Teléfono y Fax):*

E-mail Address *(Dirección Cibernética):*

E-mail Address *(Dirección Cibernética):*

Comprehensive Plan Map Designation:

Site Acreage:

Zone Map Designation:

Assessor's Map & Tax Lot No.:

Description of the proposal *(Descripción del proyecto):*

Requested Review *(Solicitud a Revisar)*

1 <input type="checkbox"/> ACCESS PERMIT TO CITY STREET	13 <input type="checkbox"/> FORMAL INTERPRETATION OF THE WDO	25 <input type="checkbox"/> REVOCATION: PREVI. APPROV ED PERMIT
2 <input type="checkbox"/> ANNEXATION	14 <input type="checkbox"/> MDP PRELIMINARY APPROVAL	26 <input type="checkbox"/> SWOD PERMIT
3 <input type="checkbox"/> APPEAL TO CITY COUNCIL	15 <input type="checkbox"/> MDP FINAL PLAN APPROVAL	27 <input type="checkbox"/> SPECIAL USE AS A CU
4 <input type="checkbox"/> COMP. PLAN MAP CHANGE	16 <input type="checkbox"/> MODIFICATION OF CONDITIONS	28 <input type="checkbox"/> SUB. PRELIMINARY APPROVAL
5 <input type="checkbox"/> CONDITIONAL USE	17 <input type="checkbox"/> PARTITION PRELIMINARY APPROVAL	29 <input type="checkbox"/> SUB. FINAL PLAT APPROVAL
6 <input type="checkbox"/> DESIGN REVIEW RS & DUPLEX RESIDENTIAL DWELLINGS	18 <input type="checkbox"/> PARTITION FINAL PLAT APPROVAL	30 <input type="checkbox"/> TELECOM. FAC, SPEC USE AS A CU
7 <input type="checkbox"/> DESIGN REVIEW	19 <input type="checkbox"/> PHASING PLAN	31 <input type="checkbox"/> TEMPORARY OUTDOOR PERMIT
8 <input type="checkbox"/> EXCEPTION TO ST. ROW & IMPROVEMENT REQ.	20 <input type="checkbox"/> PUD PRELIMINARY PLAN APPROVAL	32 <input type="checkbox"/> TREE REMOVAL PERMIT
9 <input type="checkbox"/> EXTENSION FOR A DEV. DECISION	21 <input type="checkbox"/> PUD DESIGN PLAN FINAL APPROVAL	33 <input type="checkbox"/> VARIANCE
10 <input type="checkbox"/> FENCE & FREE STANDING WALL PRE-CONST REV.	22 <input type="checkbox"/> PUD FINAL PLAN APPROVAL	34 <input type="checkbox"/> ZONING ADJUSTMENT
11 <input type="checkbox"/> GRADING PERMIT	23 <input type="checkbox"/> LLA & CONSOLIDATION OF LOTS	35 <input type="checkbox"/> ZONE CHANGE
12 <input type="checkbox"/> HISTORIC/ARCH. SIGNIFI.SITE, SPEC. CU	24 <input type="checkbox"/> RS ARCH. STANDARDS SUBDIV.	36 <input type="checkbox"/> OTHER:

Applicant Certification *(Certificación del Solicitante)*

I hereby declare that as applicant for this proposal, I have familiarized myself with the relevant provisions of the City of Woodburn Development Ordinance; and I have read the foregoing application and know the contents of the application to be true to the best of my knowledge (if applicant is not same as property owner, owner shall authorize applicant to represent his/her interest in the above referenced application by signing below). *(Por la present declare que como solicitante de esta propuesta, me he familiarizado con las provisions pertinentes a la Ordenanza de Urbanización de Woodburn; y he leído la aplicación anterior y se que lo contenido es verídico a lo mejor de mi conocimiento (si el solicitante no es el dueño de la propiedad firmará abajo autorizando al solicitante a representar su interés en la aplicación precedente)*

Owner *(Firma del dueño)* _____ **Applicant** *(Firma del Solicitante)* _____

Print Name *(Escriba en letra de molde)* _____ **Print Name** *(Escriba en letra de molde)* _____

Date *(Fecha)* _____ **Date** *(Fecha)* _____

STAFF USE ONLY *(Para Uso de Personal Solamente)*

Reviewed by: _____
(Revisado por)

Application Received: _____
(Fecha en que la aplicación fué recibida)

Deemed Complete: _____
(Aplicación)

Zone: _____
(Zonificación)

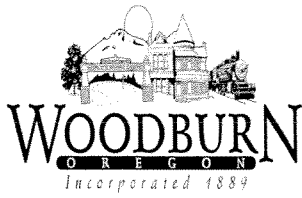
Vision Clearance: _____
(Visión de Paso Libre)

Notes: _____
(Notas)

Approved *(Aprobado)* _____ Denied *(Negado)* _____

Signature of Reviewer *(Firma del Examinador)*

Date *(Fecha)*



CITY OF WOODBURN

2.203.15 Manufactured Dwelling Park (MDP)

1) General Requirements.

a) Applicability of Design and Improvement Standards.

The design and improvement standards are applicable to all Manufactured Dwelling Parks (MDP) adopted pursuant to the **WDO**.

All standards, EXCEPT **Sections 2.203.15 B.2 and B.3**, are established by state statute (ORS 197.307 and ORS Chapter 446) and/or state administrative rule OAR 918-600). Deviation from these state standards is governed by these statutes and rules.

All Manufactured Home and Dwelling Parks, and manufactured dwellings in those parks, established prior to the adoption of the **WDO** have nonconforming status under the **WDO**.

b) Approval Requirements.

Approval of a MDP shall be subject to design review pursuant to **Sections 5.103.04 and 5.101.04**. Site built structures and manufactured dwelling units shall also be subject to applicable design review procedures of the **WDO**.

2) Design and Improvement Standards

- a) Park Area. The minimum site area for a manufactured dwelling park shall be 1.0 acres.
- b) Density. The maximum density of a manufactured dwelling park shall be 12.0 manufactured dwellings per net acre of site area. [Net acre includes the total manufactured dwelling park site area EXCLUDING public street right of way, the improved surface of private streets and walkways.]
- c) Park Perimeter Setback and Buffer. The required setback at the perimeter property line of each manufacture dwelling park shall be 20 feet, with a brick or architectural block wall with anti-graffiti surface, no less than 6 feet or greater than 7 feet in height.

- d) Minimum Area of a Park Space. The minimum area for each manufactured dwelling space shall be 3600 sq. ft.
- e) Dimensions of a Park Space.
 - i) Minimum Width: 30 feet.
 - ii) Minimum Length: 40 feet.
- f) Access. Each manufactured dwelling space shall have direct unobstructed access to street.
- g) Clear Vision Area, as described in **Section 3.103.10**, subject to the following modifications regarding private park streets:
 - i) Intersection of two streets. 30 foot legs measured along outside edge of the right of way for a public street and along the outside edge of the pavement on private park streets.
 - ii) Intersection of a driveway and a private park street. 10 foot legs measured along outside edge of pavement on a private park street and a driveway.
- h) Fire Separation Clearances. **TABLE 2.2.1.**
- i) Vehicular Parking.
 - i) Number of Vehicular Parking Spaces. A minimum of 2 vehicular parking spaces per manufactured dwelling.
 - ii) Vehicular Parking Configuration.
 - (1) End to end within a manufactured dwelling space.
 - (2) Side by side within a manufactured dwelling space.
 - (3) One on-street space and one within a manufactured dwelling space.
 - iii) Vehicular Parking Space Dimensions and Improvement.
 - (1) On-street: 8 feet x 23 feet. [Section 2.203.15.B.9.c.1 as amended by Ordinance No. 2383, §30, passed March 16, 2005.]

TABLE 2.2.1
In-Park Separations Matrix*

[Tables 2.21 as amended by Ordinance No. 2383, §32, passed March 16, 2005.]

Clearance From	Manufactured Dwellings & Cabanas	Accessory Buildings	Decks, Landings, Steps, Ramps, Awnings & Carports	Garages
Property line & park street	5 feet	5 feet	5 feet	5 feet
Park sidewalk	2 feet	2 feet	0 feet	2 feet
Mfrd. dwelling or cabana on same lot	0 feet (When Permitted)	3 feet	0 feet	6 feet
Mfrd. dwelling or cabana on adjacent lot	10 feet	6 feet	6 feet	6 feet
Park buildings	10 feet	6 feet	6 feet	10 feet
Accessory bldg. on same lot	3 feet	3 feet	0 feet	3 feet
Accessory bldg. on adjacent lot	6 feet	6 feet	6 feet	6 feet
Decks, landings, steps, ramps, awnings & carports on same lot	0 feet	0 feet	0 feet	0 feet
Decks, landings, steps, ramps, awnings & carports on adjacent lot	6 feet	6 feet	6 feet	6 feet
Garage on same lot	6 feet	3 feet	0 feet	0 feet
Garage on adjacent lot	6 feet	6 feet	6 feet	6 feet

- NOTE: (a) See Section 904(e) of the **2002 Oregon Manufactured Dwelling Standards** for exceptions to this schedule.
- (b) Except for clearance between manufactured dwellings on adjacent lots and between manufactured dwellings and property lines, clearance shown in this schedule may be further reduced according to the **Oregon One and Two Family Dwelling Specialty Code** or the **Oregon Structural Code** with prior approval from the authority having jurisdiction.
- (c) Set-backs to perimeter property lines may be greater than those shown in the above table. See municipalities planning and zoning ordinance (**WDO Section 2.203.15.B.3**).
- (d) The set-backs and clearances required in this table shall be measured to the exterior walls of the structures and do not include eave overhangs except for awnings and carports.

***SOURCE: Table 903, 1996 Oregon Manufactured Dwelling Standards**

- (2) Within a manufactured dwelling space. 10 feet x 20 feet, measured from the edge of the street pavement or sidewalk, whichever is closer.
 - (3) All vehicular parking spaces shall be paved.
 - iv) Driveways.
 - (1) Width: 10 feet, minimum.
 - (2) Improvement: Paved
 - v) Boat and Recreational Vehicle Storage. Storage of boats and recreational vehicles is prohibited except in a common storage area designed as part of the manufactured dwelling park.
- j) Exterior Lighting.
 - i) All park streets and common park walks shall be illuminated with a minimum of 0.37 candle power of light. [Section 2.203.15.B.10.a as amended by Ordinance No. 2383, §31, passed March 16, 2005.]
 - ii) All public streets shall be illuminated to Public Works standards.
- k) Play Area.
 - i) Area Ratio. 100 sq. ft. per each manufactured dwelling occupied by children under 14 years of age.
 - ii) Minimum Area. 2,500 sq. ft.
 - iii) Safety Standards. A play area shall be suitably separated or safeguarded from railroads, public streets, sharp declivity or other similar hazards.
 - iv) EXCEPTION. A play area shall not be required for manufactured dwelling parks established prior to March 13, 1989, and rented spaces as an all adult park.
- l) Water, Sanitary Sewer and Storm Drainage. Infrastructure facilities shall be installed to applicable state and City facility standards.
- m) Park Streets.
 - i) Ownership. Private.

- ii) Connectivity. The park street system shall connect to a public street.
- iii) Paved Width.
 - (1) Without on-street parking. 20 feet.
 - (2) With on-street parking. 30 feet.
- iv) Pavement Design. Pavement shall be to applicable state and City standards.
- v) Sidewalks, Curbs and Drainage. Park streets shall be designed to the ***Local Street Standards of Section 3.301.***
- vi) The block length and the length of cul de sac streets shall comply with the standards of ***Section 3.301.***
- n) Public Streets.

Provision of Public Streets. All streets depicted in the major street classification plan of the Woodburn Transportation System Plan that abut or are shown to be located within manufactured dwelling park shall be dedicated and improved as a condition of approval.
- o) Manufactured Home Design Standards. In manufactured dwelling parks one to three acres in size:
 - i) Roof Pitch: Each manufactured home shall have a pitched roof with a slope no less than a nominal three feet in height for each 12 feet in width.
 - ii) Exterior Siding and Roofing Materials: Each manufactured home shall have exterior siding and roofing which in color, material and appearance, is similar to the exterior siding and roofing material commonly used on residential dwellings within the community or which is comparable to the “predominant materials used in surrounding dwellings.” For the purposes of this Section, the definition of “review area” for determining the character of “surrounding dwellings” and “predominant material” defined in ***Sections 2.203.16.H. and I.*** shall apply. [Section 2.203.15.B.15.b as amended by Ordinance No. 2383, §33, passed March 16, 2005.]

- p) Accessory Structures and Uses.
 - i) Height. The maximum height of an accessory structure, including park buildings, shall be 15 feet.
 - ii) Solid Waste Collection. Solid waste shall either be collected with curbside pickup or provisions for common refuse collection facilities shall be screened on all sides by an architectural block wall and solid gate, both with an anti-graffiti surface, a minimum of six feet and a maximum of seven feet in height.
- q) Street Naming and Addresses. Each park street shall be named in the same manner as public streets. Each manufactured dwelling space shall be addressed off a park street.

2.203.16 **Manufactured Home on a Lot**

Where permitted as a special use, a manufactured home located on individual lots outside of a mobile dwelling park shall comply with the following requirements.

These standards are established by statute (ORS 197.307) and therefore non-variable.

- 1) Manufactured Home Certification.

The manufactured home shall have been manufactured after June 15, 1976, and exhibit the Oregon Department of Commerce "Insignia of Compliance" that indicates conformance with Housing and Urban Development (HUD) standards.
- 2) Minimum Area.

The manufactured home shall be multi-sectional and enclose a space of not less than 1,000 square feet.
- 3) Foundation.

The manufactured home shall be placed on an excavated and back-filled foundation and enclosed at the perimeter such that the manufactured home is located not more than 12 inches above grade.
- 4) Roof.

The manufactured home shall have a pitched roof, except that no standard shall require a slope of greater than a nominal three feet in height for each 12 feet in width.

5) Exterior Siding and Roofing.

The manufactured home shall have exterior siding and roofing which in color, material and appearance is similar to the exterior siding and roofing material commonly used on residential dwellings within the community or which is comparable to the predominant material used on surrounding dwellings as determined by the City.

6) Energy Efficiency.

The manufactured home shall be certified by the manufacturer to have an exterior thermal envelope meeting performance standards which reduce levels equivalent to the performance standards required of single-family dwellings constructed under the state Building Code as defined in ORS Chapter 455.

7) Garage or Carport.

The manufactured home shall have a garage or carport of like materials. An attached or detached garage in lieu of a carport shall be required where such is consistent with the predominate construction of immediately surrounding dwellings.

8) Surrounding Dwellings and Immediately Surrounding Dwellings Review Area.

As used in **Section 2.203.16**, "review area" for the character of "surrounding dwellings" and "immediately surrounding dwellings" shall encompass the five nearest dwellings to the subject lot that are on the same street and that are within 250 feet of the subject lot. If there are fewer than five dwellings within 250 feet, only those dwellings within 250 feet shall be used.

9) Predominant Material and Predominate Construction.

As used in **Section 2.203.16**, "predominant material" and "predominant construction" shall be the material used on the majority of the dwellings in the review area. If there is no majority of dwellings using the same material, then the material used on the largest plurality of dwellings in the review area shall be the predominant material.

10) Building Permit.

A building permit shall be obtained for each dwelling unit.



CITY OF WOODBURN

Type III Decisions. (Quasi-Judicial)

Type III decisions involve significant discretion and evaluation of subjective approval standards, yet are not required to be heard by the City Council, except upon appeal. The process for these land use decisions is controlled by ORS

197.763. Notice of the application and the Planning Commission or Design Review Board hearing is published and mailed to the applicant, recognized neighborhood associations and property owners within 250 feet of the subject property. Notice must be issued at least 20 days pre-hearing, and the staff report must be available at least seven days pre-hearing. At the evidentiary hearing held before the Planning Commission or the Design Review Board, all issues are addressed. The decision of the Planning Commission or Design Review Board is appealable to the City Council for a de novo public hearing. The City Council decision is the City's final decision and is appealable to LUBA within 21 days after it becomes final. In the event any decision is not classified, it shall be treated as a Type III decision.

3.101 Street Standards

3.101.01 Scope

The provision of streets shall be guided by the goals and policies of the Woodburn Comprehensive Plan, the Woodburn Transportation System Plan, detailed City adopted planning and design studies and the **WDO**. The right of way standards apply to public streets. The improvement and construction specification standards apply to both public and private facilities, including streets, sidewalks and bikeways under the jurisdiction of the City of Woodburn.

3.101.02 General Provisions

- C. The access or driveway, for each lot shall be connected to the existing public street system in compliance with **Section 3.104**.
- D. No access permit shall be issued unless the internal street(s), boundary street(s) and abutting street(s) are constructed pursuant to **Section 3.101.02.C**, UNLESS or until the applicant has obtained an exception as provided in this section.
- E. Design and Construction Standards.
 - 1. All public streets under the jurisdiction of the City of Woodburn shall comply with the applicable cross section design standards noted in **Section 3.101.03** and construction specifications of the Public Works Department.
 - 2. All private streets in manufactured dwelling parks shall comply with applicable City design standards and specifications and state design standards and specifications where state standards and specifications preempt City standards and specifications.
- F. Street Right of Way and Improvement Standards for Development.

Any development subject to an access permit, **Section 3.104**, shall be responsible for adequate street rights of way and improvements. The standards of **Section 3.101.02.D** may only be modified subject to the approval of an exception, **Section 5.103.12**. In no instance may standards be reduced below specified minimum, non-variable standards.

- 1. Connecting Street Standards. (**Figure 6.12**)
 - a. Right of Way Standard. The full right of way for the subject street classification, **Section 3.101.03**, shall be required for a connecting street segment without an approved exception or variance.

The minimum connecting street right of way shall be sufficient to accommodate the connecting street improvement standard in ***Section 3.102.D.1.b.*** below.

- b. Street Improvement Standard. The full street improvement for the subject street classification, ***Section 3.101.03***, shall be provided for a connecting street segment without an approved exception or variance.

The minimum connecting street improvement standard shall be equivalent to:

- 1) One, 12 foot wide travel lane in each direction, including curbs, where the classification specifies a maximum standard of two travel lanes;
- 2) Required drainage facilities;
- 3) The pedestrian and bikeway facilities located on one side of the street that comply with the standards for the subject street classification. In locations where the street classification specifies a maximum standard of two travel lanes, the connecting segment on the side with the pedestrian/bikeway facilities shall be completed to standards, including the landscaped parkway strip.

2. Boundary Street Standard. (***Figure 6.12***)

- a. Right of Way Standard. The full right of way for the subject street classification, ***Section 3.101.03***, shall be required for a boundary street without an approved exception or variance.

The minimum standard for a boundary street right of way shall be no less than the width necessary to accommodate the boundary street improvement standard.

- b. Street Improvement Standard. The full street improvement for the subject street classification, ***Section 3.101.03***, shall be provided for a boundary street without an approved exception or variance.

The minimum boundary street improvement standard shall be equivalent to:

- 1) One, 12 foot wide travel lane in each direction, including curbs in each direction where the classification specifies a maximum standard of two travel lanes;

- 2) Required drainage facilities; and
- 3) In addition to the improvements cited in 1) above, the full improvement of the street from the center line to the boundary of the subject property plus any center turn lane as described for the street classification.

3. Internal Street Standards. (*Figure 6.12*)

- a. All public streets within a development shall comply with the full right of way and improvement standards of **Section 3.101.03** without an approved variance.
- b. All private park streets permitted in manufactured dwelling parks shall comply with the full requirements of **Section 2.203.15**, as set by statute.

G. Private Streets.

Private streets are prohibited in conjunction with a development approval, EXCEPT where required as private park streets in manufactured dwelling parks, pursuant to ORS Chapter 446 and OAR 918-600.

H. Termination of Streets, Bikeways and/or Pedestrian Ways.

1. Cul de sac Streets.
 - a. The maximum length of a cul de sac street shall be 250 feet.
 - b. The minimum radius of a cul de sac street right of way shall be 55 feet.
 - c. The minimum improved street radius of a cul de sac shall be 45 feet plus curb, planting strip and property line sidewalk.
2. Temporary Dead End Streets. Streets extensions that result in temporary dead end street, or stub streets, due to incremental construction shall:
 - a. Be transmitted to the Woodburn Fire District for review and comment.
 - b. Have an all weather sign at the temporary street terminus, installed by the applicant, that states: "This Street is Planned for Future Extension."
 - c. Provide either a one foot reserve strip deeded to the City, or an alternative

method for limiting access approved by the City Engineer, at the temporary end of the right of way.

3. Continuity of Public Bikeway and Pedestrian Facilities Located Off-Street. Public bikeway and pedestrian facilities, other than those incorporated in a street right of way, shall either :
 - a. Provide for a continuous system with each segment originating/terminating with a connection to a public street or to a designated activity center.
 - b. Provide stubbed facilities that may extend beyond the limits of an approved development, when such a public facility has been specifically endorsed by the City Council.

I. Block Standards.

Block length shall not be less than 200 feet and not more than 600 feet, EXCEPT where the dimensions and alignment of existing blocks and streets adjacent to or in the vicinity of a proposed subdivision, topography, adequate lot size, or need for traffic flow warrant other dimensions. The maximum block length shall not exceed 1200 feet.

J. Street Names.

All public streets, and private manufactured dwelling park streets shall be named after providing the Woodburn Fire District an opportunity to review and comment.

1. Principal Street Name.

- a. The street name shall not duplicate an existing street name, unless there is reasonable assurance the named streets will be connected in the future.
- b. New streets shall be designated with the same names as existing streets only if they fall in the same grid line and there are reasonable assurances that the street will connect with another section of the numbered street.
- c. Street names shall not sound like another street name or cause confusion.
- d. Street names that are deliberately misspelled, frivolous, or reflect the name of the developer or family members shall not be allowed.

2. Street Name Suffix. Streets shall be further named with a suffix. EXCEPT as indicated in the Woodburn Transportation System Plan, the following suffixes designations apply to NEW streets, as follows:
 - a. North-south streets shall be designated "street", EXCEPT that major streets classified as an arterial in the Woodburn Transportation System Plan may be designated "road" or "highway."
 - b. East-west streets shall be designated "avenue", EXCEPT that major streets classified as an arterial in the Woodburn Transportation System Plan may be designated "road" or "highway." .
 - c. A skewed or meandering street shall be named "drive."
 - d. A street less than 1,000 feet in length may be designated "place," "Away," or "lane."
 - e. A cul de sac street with no cross street shall be designated "court."
 - f. A continuous loop street that has two intersections with the same street shall be segmented, in reference to its orientation to the overall North/South, East/West street grid, so that the each segment of the loop has a unique name.
 - g. A street that runs in a circle with only one entrance/exit shall be designated a "circle."
 - h. A street with a continuous landscaped median shall be designated a "boulevard."
 3. Lot and Space Numbering. The Building Official shall establish and maintain a street numbering grid for the City and assign individual street numbers to lots and manufactured dwelling spaces at the time of the initial building permit.
- K. Right of Way Landscaping and Street Trees. See A Development Standards@ for the subject zoning district, ***Section 2.1.***
- L. Sidewalks. All sidewalks shall be a minimum of 5 feet wide, excluding the curb, and located one foot from the right of way line EXCEPT in the DDC Zone or as otherwise approved by variance.

3.101.03 Right of Way and Improvement Standards (Figure 6.9)

- A. The street right of way and improvement cross-sectional standards required for development are depicted in the Woodburn Transportation System Plan Figure 30, EXCLUDING: Local Residential W/ Parking Both Sides a Skinny@ Street; Local Residential W/ Parking One Side a Skinny@ Street; and Local Residential Street W/ No Parking. (See **Figure 6.6**)
- B. The following additional standards for Local Residential Streets:
 - 1. Local Residential Street with Parking One Side:
 - a. Right of way: 50 feet.
 - b. Public Utility Easement: 5 feet, each side.
 - c. Curb to curb improvement: 29 feet.
 - d. Sidewalks: 5 feet wide, each side.
 - e. Required common, onsite parking over and above the parking requirements under other provisions of the **WDO**: One (1) space per dwelling unit, located no further than 250 feet from the subject lot.
 - 2. Local Residential without Parking:
 - a. Right of way: 50 feet.
 - b. Public Utility Easement: 5 feet, each side.
 - c. Curb to curb improvement: 24 feet.
 - d. Sidewalks: 5 feet wide, each side.
 - e. Required common, onsite parking over and above the parking requirements under other provisions of the **WDO**: Two (2) spaces per dwelling unit lot, located no further than 250 feet from the subject lot.

3.103.10 Vision Clearance Area (See Figure 6.4)

A. Generally.

A vision clearance area is an area at the intersection of two streets, a street and a driveway or a street and an alley in which visual obstructions are limited for safety purposes.

B. Street-Driveway Intersection.

A vision clearance area at the intersection of a street and a driveway shall be the area delineated as follows:

1. A line extending ten feet from the intersection along the street right of way.
2. A line extending ten feet from the intersection along the side of the driveway.
3. A third line that creates a triangular vision clearance area by connecting the ends of the lines described in ***Section 3.103.10.B.1. and 2.***

C. Street-Alley Intersection.

The vision clearance area for street to alley intersections shall be formed as in ***Section 3.103.10.B.*** with legs of 10 feet along the intersecting street and alley rights of way.

D. Street-Street Intersection.

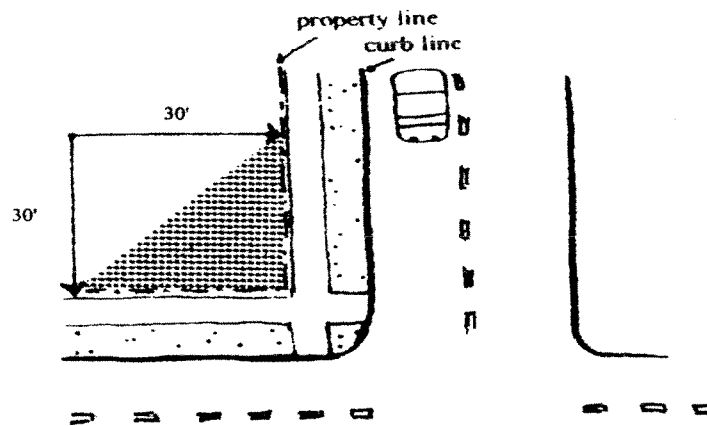
The vision clearance area for street to street intersections shall be formed as in ***Section 3.103.10.B.*** with legs of 30 feet along the intersecting street rights of way.

E. Prohibited Development.

A vision clearance area shall contain no plants, fence, wall, structure, or temporary or permanent obstruction exceeding 30 inches in height [measured from the top of the curb or, where no curb exists, from the established street centerline grade], EXCEPT as follows:

1. Trees, provided branches and foliage are removed to a height of 7 feet above grade;
2. Telephone, power and cable television poles;
3. Telephone and utility boxes less than ten inches at the widest dimension; and
4. Traffic control signs and devices.

Vision Clearance Area: Street to Street



Vision Clearance Area: Street to Driveway

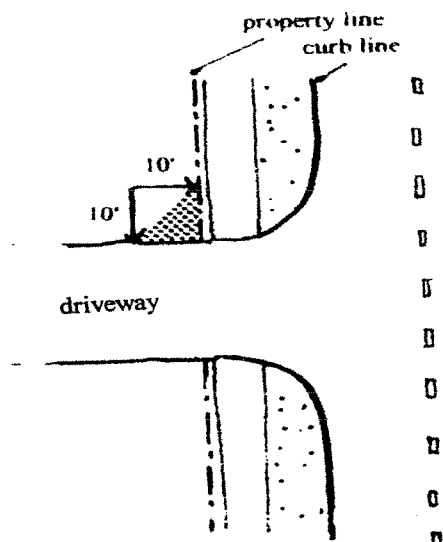


Figure 6.4 Vision Clearance Area

CITY OF WOODBURN

6.101 Description of Application Exhibits

6.101.01 General Requirements

1. Exhibit Standards for Type II, III and IV Permit Applications.

This **Section** describes the exhibit specifications for Type II, III or IV permit applications. Type I application requirements are described in the **WDO**.

2. Additional Information.

Prior to deeming an application complete, the Community Development Director may request additional information.

3. City Application Form and Application Fees.

A complete City application form and applicable jurisdictional fees are necessary for a complete application. Both items shall be present prior to deeming an application complete.

4. Copies of the Application and Exhibits.

- a. Unless otherwise indicated in writing by the Community Development Director, the number of copies of the application and exhibits specified in this **Section** is required to deem an application complete.
- b. The Director may require subsequent submittal of additional copies of applications materials for an application that is called for review or appeal.
- c. An exhibit may be submitted at a scale other than the scale specified in this **Section** when indicated in writing by the Director.

5. Information Items That Apply to Only A Particular Type of Request.

The exhibit requirements may apply to more than one type of application. Consequently some application requirements make specific note when requirements apply to only specific proposed actions, as follows:

- a. ***MDP only*** indicates the item is only required in a manufacture dwelling park [MDP] application.
- b. **PUD only** indicates the item is only required in a planned unit development [PUD] application.

6. Standard Title Block and Legend.

To facilitate identification and review, the following information is required on each exhibit requiring a title block:

- a. Type of Application. [Annexation, PUD, Variance, etc.]
- b. Type of Exhibit [Location map, site plan, etc.]
- c. Name of proposed development. [Required for only for Subdivision, **PUD**, or ***MDP*** applications.]
- d. Name of applicant.
- e. Scale bar and north arrow.
- f. Date prepared and party that prepared the exhibit.
- g. Legend of symbols used, including property lines of the subject property, City Limits, and UGB.

6.101.02 **Types of Exhibits**

1. **Application Form and Application Fee.**
2. **Deed(s).**
3. **Assessor's Map(s)/Notification Area.**
4. **Notification List.**
5. **Location Map.**
6. **Findings of Conformance with Approval Criteria.**
7. **Site Plan.**
8. **Street and Utilities Plan.**
9. **Site Design Plan.**
10. **Architectural Drawings and Materials Sample Board.**

11. **Grading Plan.**
12. **Preliminary Subdivision, Partition, PUD or Manufactured Dwelling Park Plan.**
13. **Aerial Photograph.**
14. **Concept Plan for Adjacent Property Interests.**
15. **Preliminary PUD Design Plan.**
16. **Phasing Plan.**
17. **Transportation Impact Analysis (TIA) Requirements.**

1. City Application Form and Application Fee. [One copy each]

Applications shall be submitted on City forms, accompanied by the requisite application filing fee.

2. Deed(s). [One copy each]

A current copy of the recorded deed(s) for the subject property, or the recorded sales contract, including an accurate legal description of the subject property.

3. Assessor's Map(s)/Notification Area. [One copy each]

Original prints of the current Assessor's Map(s) obtained from Marion County showing the boundary of the notification area 250 feet equi-distant from all boundaries of the subject property.

4. Notification List [Two (2) sets]

- a. Two (2) sets of self adhesive labels for each property within the notification area, showing the owner's name, the tax lot number of the ownership and the owner's mailing address.
- b. A certification from the preparer of the notification list, that the address labels reflect the required ownership and address data as contained in the current property tax rolls.

5. Location Map [Not less than 15 copies, at 8.5" x 11", plus one, 8.5 x 11 inch reproducible copy.]

- a. Standard title block and legend.
- b. Scale: 1" = 800' or smaller.
- c. Image area: 1320' from the perimeter of the site.
- d. Data and Information:
 - i. Names and location of:
 - (1) All major streets within the map area .

- (2) All public streets accessing the site.
- ii. Zoning.
- iii. Site location of :
 - (1) Public and private schools.
 - (2) Public parks and public open space.

6. Findings of Conformance with Approval Criteria. [One copy each]

A written narrative by the applicant, making findings of compliance regarding the applicable approval criteria must be submitted for each land use action requested.

7. Site Plan [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5" x 11" copy.]

- a.. Standard title block and legend.
- b. Scale: 1"= 20' to 1"= 50'.
- c. Image Area: 250' from the perimeter of the subject property.
- d. Site Data [Depicted on plan and summarized in tabular form.]
 - i. Any proposed use limitation.
 - ii. Subject property. [Dimensions and area in square feet.]
 - iii. Building and parking envelope based on required setbacks.
 - iv. Yards/setbacks and buffer improvements. [Dimensions and improvement standards]
 - v. Residential units:
 - (1) Dwelling units. [Number and net density.]
 - (2) Living units. [Number and net density.]
- e. Data and information. [Shown on the plan.]
 - i. Top of bank and center line of water courses.
 - ii. Regulatory wetlands. [Wetlands shown on the Woodburn Wetlands Inventory that are within or abut the subject property require a "wetlands delineation" prepared by the

applicant, at the time of application.]

- iii. 100 year flood plain .
- iv. Rights of way and street improvements.
- v. Water, sanitary sewer and storm drainage facilities, easements and public utility easements.
- vi. Driveway access points and direction of traffic flow.

8. **Street and Utilities Plan.** [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5" x 11" copy.]

- a) Standard title block and legend.
- b) Scale of 1" = 20' to 1" = 40'.
- c) Image Area: 250' from the perimeter of the subject property.
- d) Streets. Existing and proposed. [Right of way and improvements including sidewalks and street trees].
- e) Water. Existing and proposed. [Lines with size, fire hydrants, meters, easements, and ownership].
- f) Sanitary sewers. Existing and proposed. [Lines with size, manholes and clean outs, easements and ownership].
- g) Storm drainage. Existing and proposed. [Pipes and culverts with size, catch basins, ditches, detention, easements and ownership].
- h) 100 year flood plain and regulatory wetlands.
- i) Traffic Impact Analysis if required by the **WDO**.
- j) Pedestrian and bike facilities.
- k) Driveways including direction of traffic flow.
- l) Public utility easements.

9. **Site Design Plan.** [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5"

x 11" copy.]

- a) Standard title block, excluding north arrow.
- b) Scale of 1" = 20' to 1" = 40'.
- c) Image Area: 250' from the perimeter of the subject property.
- d) Conditions of prior land use approvals, if applicable.
- e) Area in square feet of :
 - i) Subject property.
 - ii) Proposed development area or phase.
 - iii) Landscaping.
 - iv) Parking lots, excluding landscaping.
 - v) Buildings:
 - (1) Aggregate gross floor area.
 - (2) Per building: exterior dimensions, height, & gross floor area.
- f) Number of parking spaces, including dimensions:
 - i) Standard.
 - ii) Compact.
 - iii) Disability.
 - iv) Bicycle.
- g) Residential units:
 - i) Dwelling units. [Number, net density & typical gross floor area/ unit.]
 - ii) Living units. [Number, net density & typical gross floor area/ unit.]
- h) Lot coverage by buildings and structures.
- i) Open space:
 - i) Private open space area [Aggregate & by type of typical residential units.
 - ii) Common open space area and facilities:
 - (1) Aggregate area.
 - (2) Recreation. [Including description of facilities.]
 - (3) Landscaped.

- (4) Natural.
- j) Top of bank and center line of water courses.
- k) Regulatory wetlands.
- l) 100 year flood plain .
- m) Access ways, walkways and on-site bikeways.
- n) Rights of way, driveways, street improvements, transit stops and easements, by function.
- o) Fences, free standing walls, trash enclosures, electric transformers pads, exterior light standards and fixtures.
- p) Landscaping [Depicted on plan and summarized in tabular form].
 - i) Proposed and existing landscaping [Area and location] .
 - ii) Parking lot landscaping [Area and percentage of total landscaped area].
 - iii) Trees [Location, species, status (retained, removed and planted) of private and street trees 4" or more in caliper] .
 - iv) Plant materials. Description of plant units by species and size for each landscaped area.
 - v) Irrigation system [Type and area covered].
 - vi) Replacement of topsoil [Location and depth].
- q) Solid waste disposal enclosures.
- r) Exterior lighting.
- 10) **Architectural Drawings and Materials Sample Board** [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5" x 11" copy of illustrations.] [Not less than one sample board.]
 - a) Standard title block and legend, excluding north arrow and property boundaries.
 - b) Elevations of proposed structures [Buildings, carports, garages, trash enclosures and storage facilities] at a scale of 1/16"= 1' to 1/4" = 1'.

- c) Floor plans of primary buildings at a scale of 1/16" = 1' to 1/4" = 1', or Building Permit Application.
 - d) Exterior light fixtures, electrical transformer pads and roof top mechanical equipment.
 - e) Exterior materials samples showing samples and specifications for color and materials for walls, roof, windows, doors and trim:
 - i) An 8.5" x 11" board; or
 - ii) An accurately colored elevation with detailed narrative of specifications.
11. **Grading Plan** [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5" x 11" copy.]
- a) Standard title block and legend.
 - b) Scale of 1" = 20' to 1" = 40'.
 - c) Contours [original and final grade] at vertical intervals of 2 feet.
 - d) Cross-sections of the site as specified by the Public Works Director.
 - e) Trees: Location, species, caliper over 4" [retained, removed and planted].
 - f) Storm drainage and detention plans prepared by a registered engineer.
 - g) Flood plain and floodway. {FEMA}
 - h) Regulatory wetlands. [Wetlands shown on the Woodburn Wetlands Inventory that are within or abut the subject property require a "wetlands delineation" prepared by the applicant, at the time of application.]
12. **Preliminary Subdivision, Partition, PUD or Manufactured Dwelling Park Plan.** [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5" x 11" copy.]
- a) Standard title block and legend, including:
 - i) Type of PUD, i.e., Single Family Residential or Mixed Use [**PUD only**].
 - ii) Township, range and section.

- iii) Tax lots in subject property, with area and number.
- b) Scale: From 1" = 100' [**1" = 50' or smaller, MDP only**] or smaller.
- c) Image Area: 250' from the perimeter of the subject property.
- d) Property lines, existing and proposed.
- e) Streets and easements, existing and proposed:
 - i) Public rights of way, with street names.
 - ii) Public and private easements.
- f) Contour lines: 2' interval.
- g) Natural features:
 - i) 100 year flood plain. [FEMA]
 - ii) Regulatory Wetlands. [Wetlands shown on the Woodburn Wetlands Inventory that are within or abut the subject property require a "wetlands delineation" prepared by the applicant, at the time of application.]
 - iii) Rivers and streams. [USGS]
 - iv) Wells. [State Water Resources]
 - v) Trees 4" or more in caliper, noting species.
- h) Existing primary use of each existing lot shown within the image area.
- i) Use, building footprint and dimensioned location of all existing structures within 50 feet of the subject property boundary.
- j) Proposed street, driveway and lot [**MDP space**] layout with:
 - i) Lots [**MDP spaces**], showing:
 - 1) Principal dimensions.
 - 2) Lot **space** area and building envelope. [Defined by setbacks [**MDP setbacks and separations.**]]
 - 3) Lot [**MDP space**] numbers.

- 4) Lots of common ownership [**PUD only**].
- 5) Play areas required by statute[**MDP only**].
- ii) Rights of way [**MDP include private park streets**], with proposed street names.
- iii) Easements by function.
- iv) Water, sanitary sewer and storm drainage lines and locations; fire hydrant location, and storm water drainage and detention facilities.

[For MDP only:

- 1) Location of manufactured dwelling sewer connections and electrical outlets.
- 2) Location of domestic water supply outlets.
- 3) Location of water and sewer lines.
- 4) Source of domestic water supply and private sewerage.
- 5) Disposal system, or public water supply and sewer system.]
- v) Street lights. [**MDP only:** Location of light fixtures lighting park streets and sidewalks.]
- vi) [**MDP only:** Location of permanent buildings.]
- k) [**PUD only:** Draft homeowners [property owners] association agreement, including provisions for:
 - i) The operation and maintenance of all common spaces and facilities; and
 - ii) The architectural review process.
 - iii) Draft Conditions, Covenants and Restrictions [C, C & R's] pertaining to all limitations EXCEPT architectural character and design guidelines.]

13. **Aerial Photograph.** [One copy] [An aerial photo is not acceptable as the base map for any other required exhibit.]

- a) Standard title block and legend, including
 - i) Date of imagery. [Imagery shall be taken within two years of the application date].
 - ii) Source of imagery.

- b) Scale: 1" = 500' or smaller.
- c) Image Area: 250' from the perimeter of the subject property.
- d) Information and Data Requirements:
 - i) Boundary of the proposed site area.
 - ii) Names and location of all major streets within the map area .

14. **Concept Plan for Adjacent Property Interests.** [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5" x 11"]

- a) Standard title block and legend.
- b) Scale: 1" = 600' or smaller.
- c) Image Area: Area within the UGB that is adjacent to the subject property and either owned or optioned by either the same property owner or the developer/applicant named in the subject application.
- d) Contours: Vertical interval 2'.
- e) Data and Information
 - i) A conceptual development plan for all adjacent land to the subject property that is owned or optioned by either the same property owner or the developer/applicant and that is located within the Urban Growth Boundary.
 - ii) The location and classification of existing and future streets providing connectivity for the conceptual, future use of the adjacent property with existing public streets and with future major streets planned in the Woodburn Transportation System Plan.
 - iii) The conceptual layout of lots and building areas by use type for the conceptual future use of the adjacent property. At a minimum the intensity, density and type of future land use shall reflect the current Comprehensive Plan designation.

15. **Preliminary PUD Design Plan.** [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5" x 11"]

- a) Standard title block and legend, including type of PUD, i.e., Single Family Residential or

Mixed Use.

- b) Image Area: Preliminary subdivision plan, or site plan for PUD's not proposed for concurrent subdivision, and area within 250' of the perimeter of the subject property.
- c) Data and Information. [Tabular summary and depicted on the Preliminary PUD Design Plan.]
 - i) Net area within each zoning districts, reflecting concurrent zoning map change applications.
 - ii) Zoning , reflecting concurrent zoning map change applications, and area of each lot.
 - iii) Use and/or density limitations within each zone as conditions of concurrent zoning map change or conditional use applications.
 - iv) Area of each single family residential detached dwelling and duplex lot, indicating which lots exhibit reduced geometric standards due to off setting common open space.
 - v) Area, maximum net residential density and the equivalent number of dwelling/living units permitted on each RM and CO lot based on zoning designation after concurrent zoning map and conditional use applications.
 - vi) Design standards altered, and lots, affected by concurrent variances to **WDO** standards.
 - vii) Natural, recreation, and landscaped open spaces by type:
 - 1) Net area;
 - 2) Use limitations;
 - 3) Method of management [special setbacks, easements, common ownership, etc.];
 - 4) Conditions establishing the scope of improvements required to make the type of open space "useable"; and
 - 5) Location of RS and RM lots, and CO lots used for medium density residential dwelling or living units, benefitted by an equivalent density off-set provided by each open space area. The common open space and benefitted lots shall correlate with any proposed Phasing Plan.
- d) Data and information. [Depicted on the Preliminary PUD Design Plan.]

- i) Streets, showing rights of way and improvements, as well as, cross sections of street classifications used, including paved surface, curbs, street, sidewalks, bike and/or golf cart lanes and street tree improvements.
- ii) Location of common areas and/or easements designated for off-street pedestrian, golf cart and/or bicycle ways and cross sectional standards for such facilities.
- iii) Location, access points, and number of common, off street parking spaces provided in lieu of on-street parking.
- iv) Public water, sanitary sewer, storm drainage, and street lighting, as well as, storm water detention common areas and/or easements.
- v) Driveway access points and direction of traffic circulation for lots with controlled access.
- vi) Building and off street parking envelope for each site defined by standard or proposed reduced setbacks.
- vii) Type of landscaping and free standing wall buffer improvements required between zoning districts.
- viii) Draft Conditions, Covenants and Restrictions [C, C & R's] pertaining to architectural character and design guidelines.

16. **Phasing Plan.** [Not less than 15 copies to scale, folded to 8.5" x 11", and one reproducible, 8.5" x 11" copy.]

- a) Standard title block and legend.
- b) Information and Data.

A diagram superimposed on the site plan or preliminary plat showing the location, size, sequence and estimated timing of each proposed phase and facility improvement.

17. **Transportation Impact Analysis (TIA) Requirements.**

A Transportation Impact Analysis required for a street, or access to a street, that is under City jurisdiction shall be conducted to the specifications of the Public Works Department.